0007924100 28 Jul 2022

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Accreditation No. DMN/19/1938
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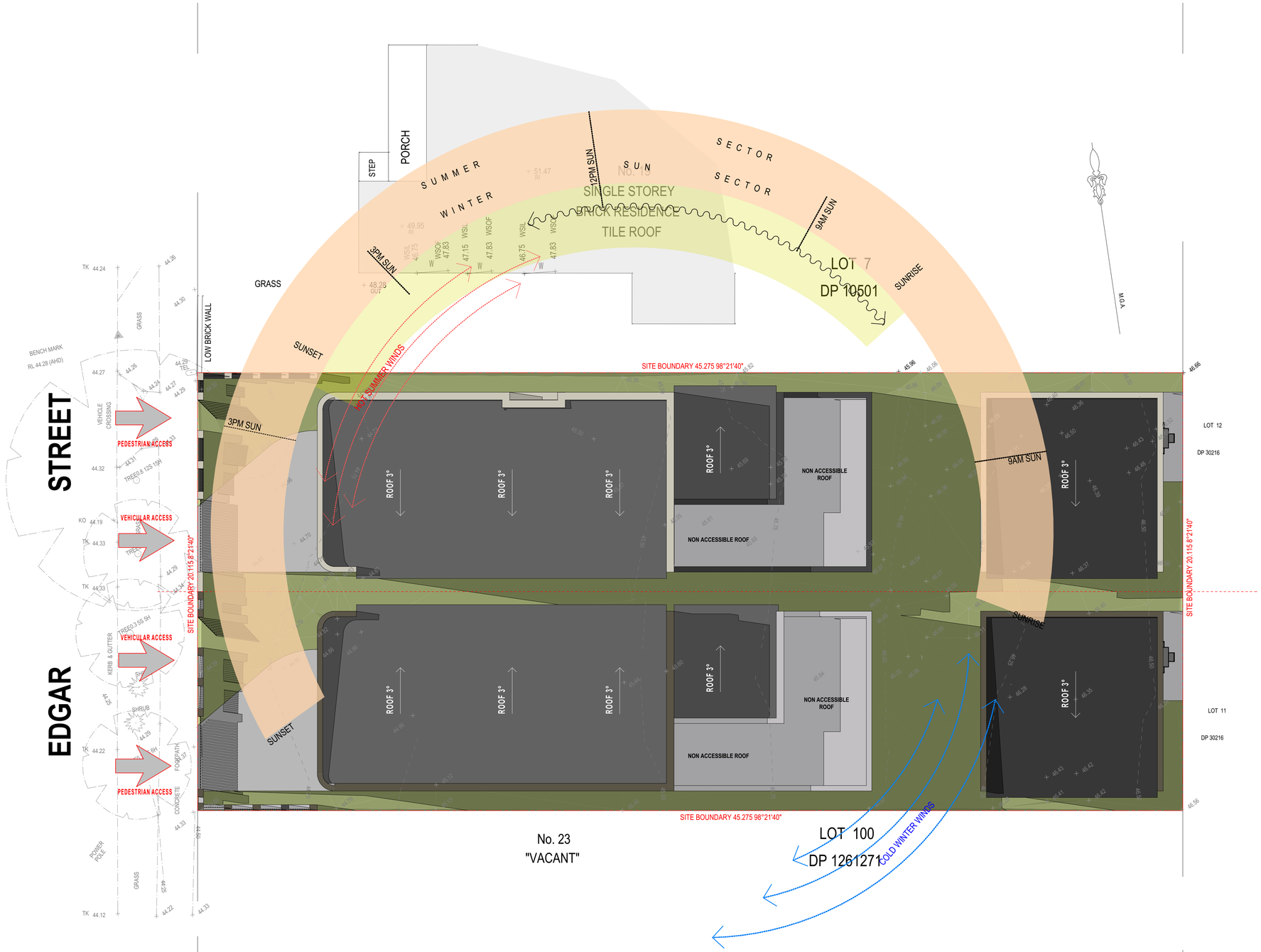

SITE ANALYSIS PLAN

21 Edgar St, Yagoona - NSW, 2199
SCALE 1:100

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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX — EXISTING NATURAL GROUND LEVELS
- 30 — SET DOWN IN BATHROOMS
- XXXX — SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:
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19. Drainage to be in accordance with part 3 of the BCA. point of discharge to meet local authority requirement

PLATFORM 5 DESIGN
16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
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WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT
VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: SITE LOCATION & ANALYSIS
PROJECT NUMBER: 22-025
DRAWING NUMBER: DA1001
DATE OF ISSUE 30/07/2022
C
N
SCALE: AS SHOWN

DEVELOPMENT APPLICATION

SITE PLAN

SCALE 1:100

0007924100 28 Jul 2022
Assessor Shafee Hassan
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21 EDGAR STREET, YAGOONA - NSW - 2199

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REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **SITE PLAN**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA1002**

DATE OF ISSUE **30/07/2022** | **C**

SCALE: **AS SHOWN**

N

DEVELOPMENT APPLICATION

DETAILED CALCULATION SCHEDULE - UNIT A

SITE AREA	910.8m² BY DP CALCULATION)		
SITE CALCULATIONS	**REQUIREMENT**	**PROPOSED**	**COMPLIES**
LOT SIZE	MIN 450.00m²	MIN 910.8m²	YES
FRONTAGE	N/A	20.115m	YES
BANKSTOWN DCP 2015	**REQUIREMENT**	**PROPOSED**	**COMPLIES**
FLOOR SPACE RATIO (Measured to the internal side of external wall)	= 0.5:1 or 455.4m² Each Unit = 227.7m²	227 m² GF = 98 m² L1 = 79 m²	YES
	Secondary Dwelling = 60m²	= 50 m²	YES
MAXIMUM H.O.B	MAX . 9m	< 9m	YES
SETBACKS			
FRONT SETBACK			
GROUND	5500 mm	5500mm	YES
LEVEL ONE	6500mm	6500mm	YES
SIDE SETBACKS			
GROUND	900mm	900mm	YES
LEVEL ONE	1500mm	1500mm	YES
REAR SETBACK	N/A	N/A	N/A
LANDSCAPING	45% or 49.95m² of area between front setback dwelling	65 m²	YES
CUT AND FILL **REFER TO SECTIONS**	< 1000mm	< 1000mm	YES

DETAILED CALCULATION SCHEDULE - UNIT B

SITE AREA	910.8m² BY DP CALCULATION)		
SITE CALCULATIONS	**REQUIREMENT**	**PROPOSED**	**COMPLIES**
LOT SIZE	MIN 450.00m²	MIN 910.8m²	YES
FRONTAGE	N/A	20.115m	YES
BANKSTOWN DCP 2015	**REQUIREMENT**	**PROPOSED**	**COMPLIES**
FLOOR SPACE RATIO (Measured to the internal side of external wall)	= 0.5:1 or 455.4m² Each Unit = 227.7m²	227 m² GF = 98 m² L1 = 79 m²	YES
	Secondary Dwelling = 60m²	= 50 m²	YES
MAXIMUM H.O.B	MAX . 9m	< 9m	YES
SETBACKS			
FRONT SETBACK			
GROUND	5500 mm	5500mm	YES
LEVEL ONE	6500mm	6500mm	YES
SIDE SETBACKS			
GROUND	900mm	900mm	YES
LEVEL ONE	1500mm	1500mm	YES
REAR SETBACK	N/A	N/A	N/A
LANDSCAPING	45% or 49.95m² of area between front setback dwelling	65 m²	YES
CUT AND FILL **REFER TO SECTIONS**	< 1000mm	< 1000mm	YES

Thermal Specification

Issued in accordance with
BASIX Thermal Comfort Simulation Method.

Assessor No #	DMN/19/1938	Projects:	YAGOONA

Thermal performance specifications

Following specification must apply to all instances of that element for the whole project. If different construction elements are applied then the Assessor Certificate is no longer valid.

Certificate No:		21 EDGAR STREET(LOT-A)	
		Unit-A1(Primary)	Unit-A2(Granny)
External walls Construction		Added Insulation	
Brick Veneer		R2.5	R2.5
Brick Veneer(Garage)		R2.5	-
Internal walls Construction			
Plasterboard on studs (Garage)		R2.5	-
Plasterboard on studs		Nil	Nil
Roof Construction			
Metal Roof		Foil+Bulk(R1.3 Anticon)	Foil+Bulk(R1.3 Anticon)
Colour		Medium	Medium
Ceilings Construction			
Plaster board		R3.0	R3.0
Floors Construction	**Covering**		
Concrete (Slab on ground)	Default	Nil	Nil
Timber(Floor between)	Default	Nil	Nil
Timber(Above garage)	Default	R3.0	Nil

Windows

All window and glazed door to be selected as per AFRC. Deviation is accepted ±5%. : This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated.

Area(M²)	Frame	Ext. cover	U Val	SHGC	Glazing
	Alum/Sliding	As drawn	4.6	0.47	Single LowE Ntrl
	Alum/Awning	As drawn	4.8	0.42	Single LowE Ntrl
Unit-1A	Alum/Fixed	As drawn	4.4	0.48	Single LowE Ntrl
	Alum/Sliding dr	As drawn	4.4	0.46	Single LowE Ntrl
W15 & W16	Alum/Fixed	As drawn	3.1	0.27	Dbl Low E Ntrl
	Alum/Sliding(GP-B)	As drawn	6.7	0.70	Single Clear
Unit-1B	Alum/Awning(Gp-A)	As drawn	6.7	0.57	Single Clear

Skylights

Area (M²)	Type	Glazing
Nil	Nil	Nil

Fixed shading (eaves, pergolas, verandas , awnings)

All shade elements modelled as drawn	
Weather seals to windows and doors	Be provided
All down lights be sealed	Yes

BASIX Commitments

Basix Certificate No:

FOR UNIT-A1 (Primary) & A2Granny)

HOT WATER
•Gas Instantaneous -5.5 star

VENTILATION
•Bathrooms: Individual fan ducted to façade or roof with interlock to light switch
•Kitchen: individual fan, not ducted with manual ON /OFF
•Laundry:Individual fan ducted to façade or roof with manual ON /OFF

AIR CON:
•Cooling & Heating : 1- Phase Air con-EER 2.5-3.0 (Zoned)

LIGHTING
•Energy efficient light fittings (LED or fluorescent for each individual spaces)

KITCHEN
•Gas cooktop & electric oven

CLOTHES DRYING LINE
• No, In door Clothes drying line
• Yes, outdoor clothing drying line

VENTILATED SPACE
No, Ventilated refrigerated space

WATER SAVING
•4 star shower heads
•4 star toilets or better
•5 star kitchen tap
•5 Star bathroom tap

RAIN WATER&STORM WATER TANK:
•1500 L rain water tank used for landscape & Laundry(Unit-A2)
•1500 L rain water tank used for landscape.(Unit-A1)

NATIONWIDE HOUSE ENERGY RATING SCHEME

0007924100 28 Jul 2022

Assessor Shafee Hassan
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Thermal Specification

Issued in accordance with
BASIX Thermal Comfort Simulation Method.

Assessor No #	DMN/19/1938	Projects:	YAGOONA

Thermal performance specifications

Following specification must apply to all instances of that element for the whole project. If different construction elements are applied then the Assessor Certificate is no longer valid.

Certificate No:		21 EDGAR STREET(LOT-B)	
		Unit-B1(Primary)	Unit-B2(Granny)
External walls Construction		Added Insulation	
Brick Veneer		R2.5	R2.5
Brick Veneer(Garage)		R2.5	-
Internal walls Construction			
Plasterboard on studs (Garage)		R2.5	-
Plasterboard on studs		Nil	Nil
Roof Construction			
Metal Roof		Foil+Bulk(R1.3 Anticon)	Foil+Bulk(R1.3 Anticon)
Colour		Medium	Medium
Ceilings Construction			
Plaster board		R3.0	R3.0
Floors Construction	**Covering**		
Concrete (Slab on ground)	Default	Nil	Nil
Timber(Floor between)	Default	Nil	Nil
Timber(Above garage)	Default	R3.0	Nil

Windows

All window and glazed door to be selected as per AFRC. Deviation is accepted ±5%. : This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated.

Area(M²)	Frame	Ext. cover	U Val	SHGC	Glazing
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Skylights

Area (M²)	Type	Glazing
Nil	Nil	Nil

Fixed shading (eaves, pergolas, verandas , awnings)

All shade elements modelled as drawn	
Weather seals to windows and doors	Be provided
All down lights be sealed	Yes

BASIX Commitments

Basix Certificate No:

FOR UNIT-B1 (Primary) & B2Granny)

HOT WATER
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VENTILATION
•Bathrooms: Individual fan ducted to façade or roof with interlock to light switch
•Kitchen: individual fan, not ducted with manual ON /OFF
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AIR CON:
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No, Ventilated refrigerated space

WATER SAVING
•4 star shower heads
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RAIN WATER&STORM WATER TANK:
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NATIONWIDE HOUSE ENERGY RATING SCHEME

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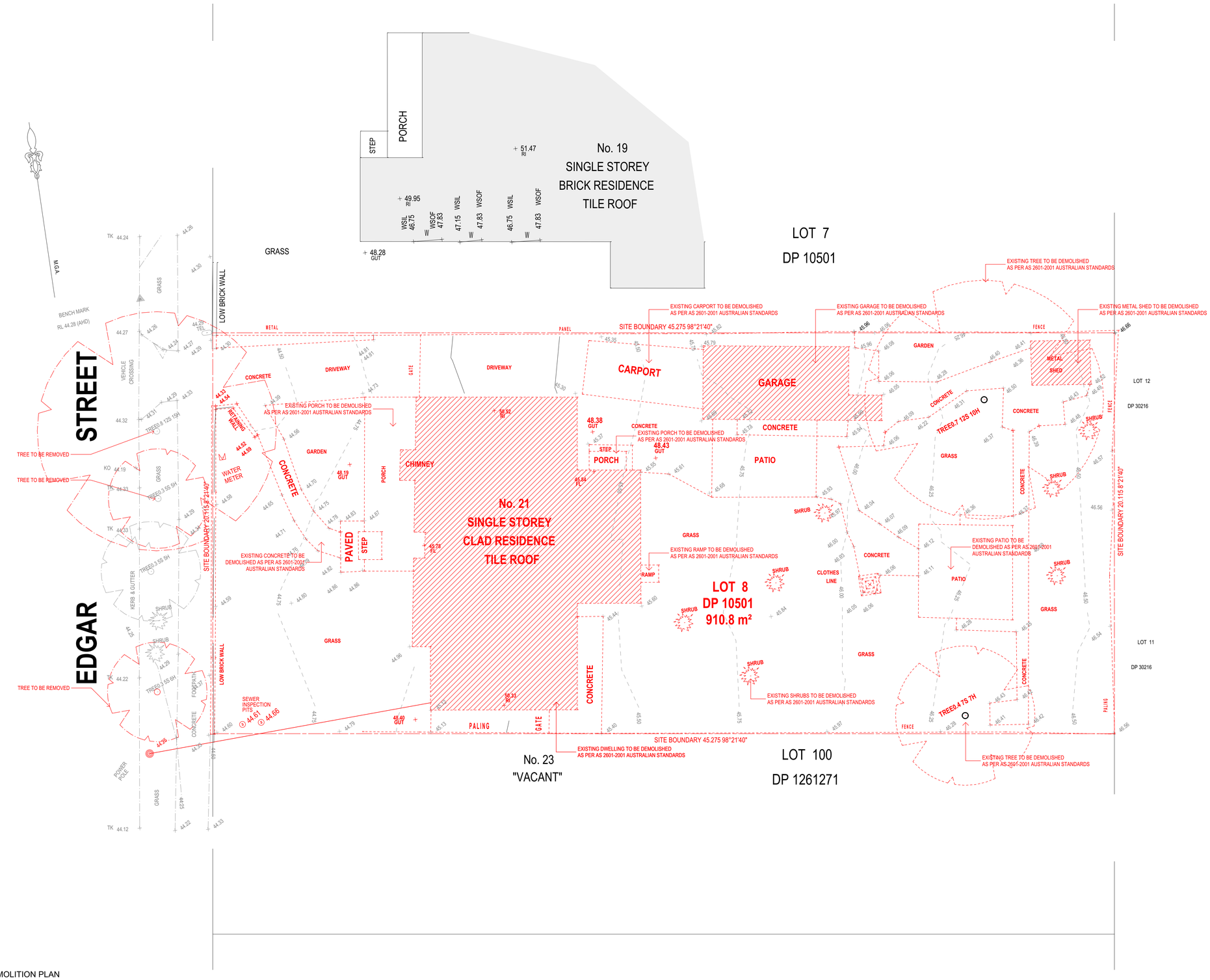
REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **DETAILED CALCULATIONS**
PROJECT NUMBER: **22-025**
DRAWING NUMBER: **DA1003**
DATE OF ISSUE **30/07/2022**
C
SCALE: **AS SHOWN**
N

DEVELOPMENT APPLICATION



DEMOLITION PLAN

At Size A1 Approx. 1:50 on
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REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **DEMOLITION PLAN**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA1004**

DATE OF ISSUE **30/07/2022**

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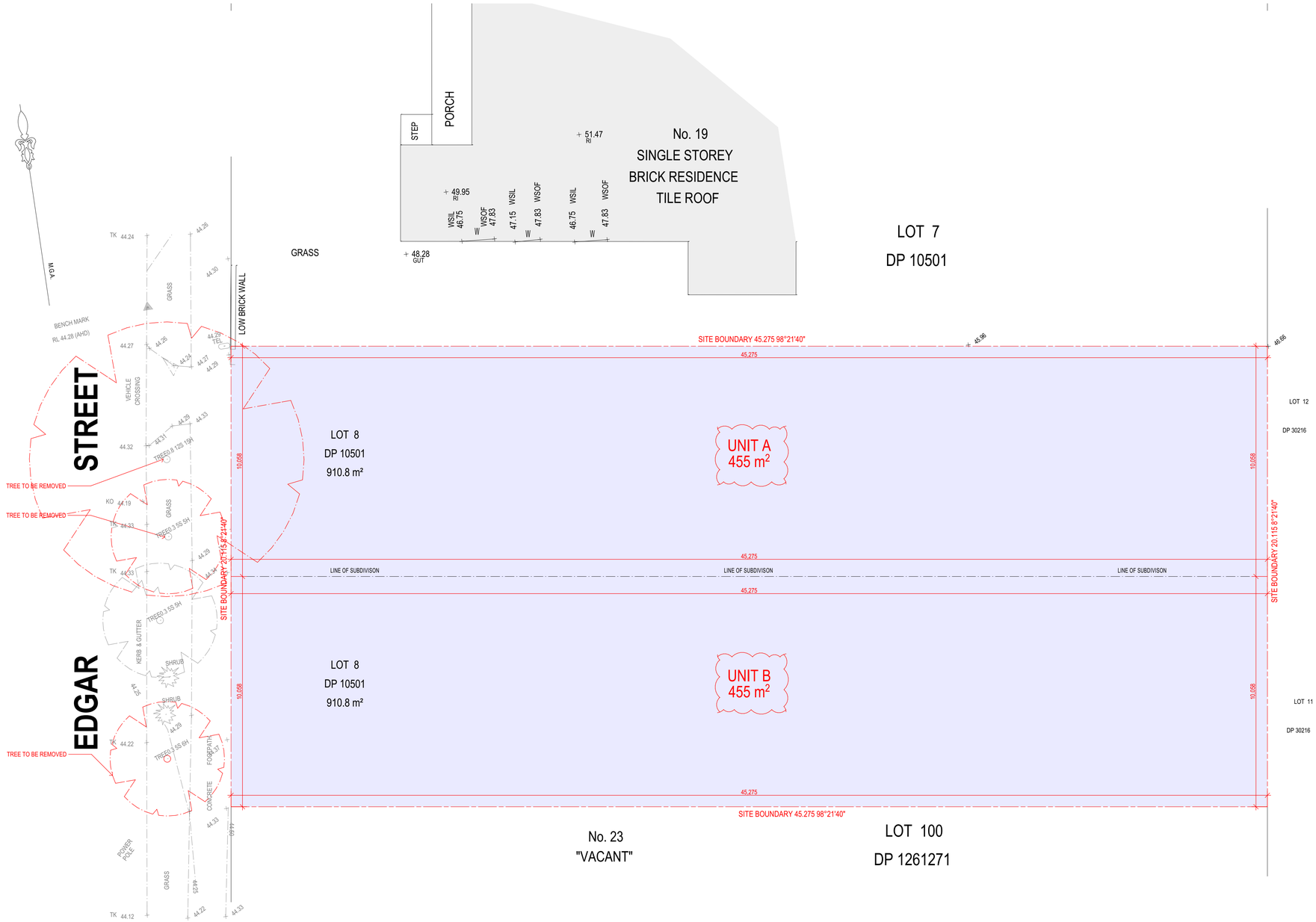
SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



SUBDIVISION PLAN

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15. Ventilation to wc to be an exhaust fan in accordance with BCA-I4.5 & As-1668.2
16. Provide cold water connection & gpo to dishwasher space
17. Hotwater system to comply with A.S.3500
18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
19. Drainage to be in accordance with part 3 of the BCA. point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
EMAIL: INFO@PLATFORMFIVE.COM.AU
WEBSITE: WWW.PLATFORMFIVE.COM.AU

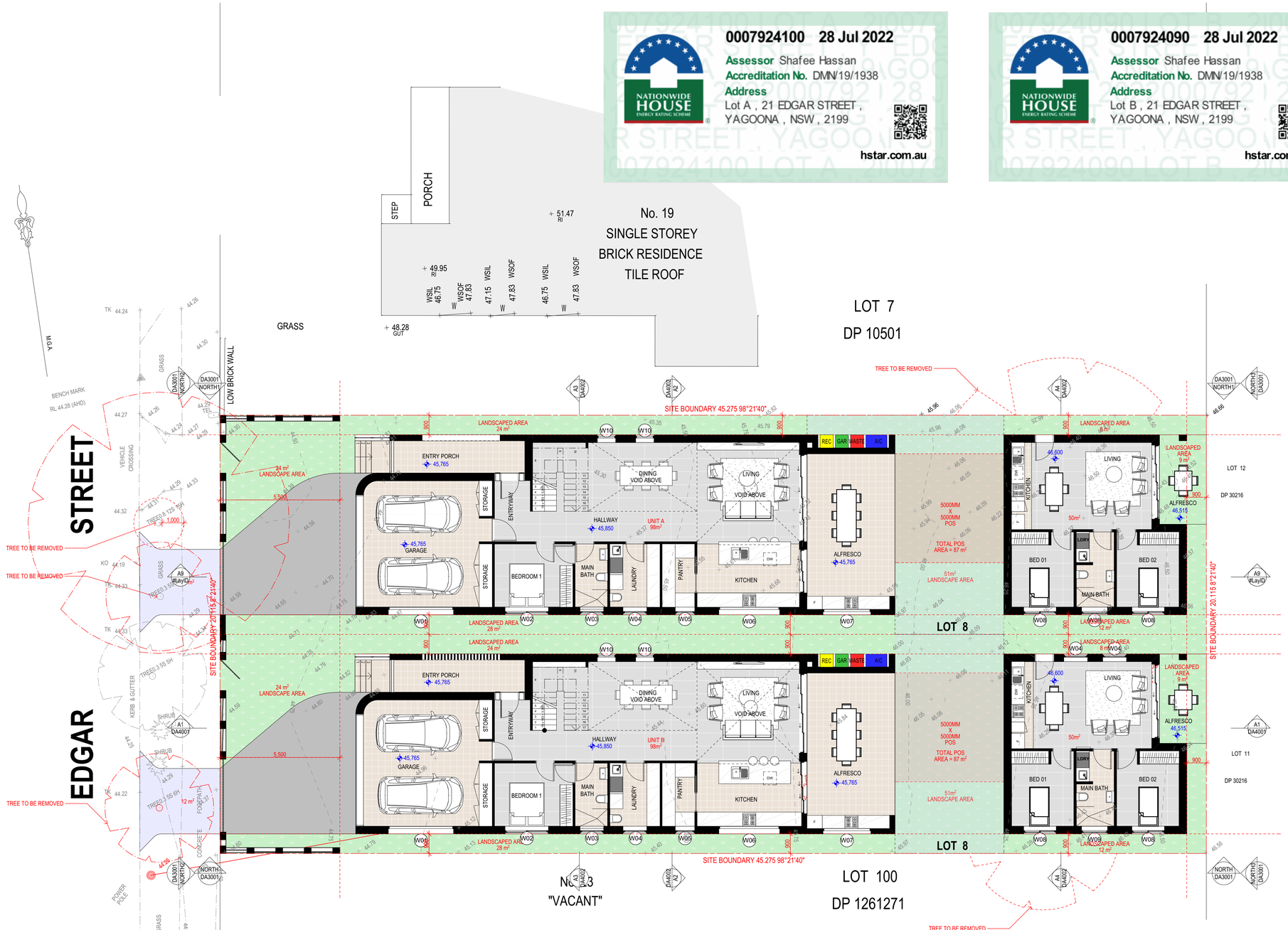
PROJECT TITLE
21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT
VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **SUBDIVISION PLAN**
PROJECT NUMBER: **22-025**
DRAWING NUMBER: **DA1005**
DATE OF ISSUE **30/07/2022**
C
SCALE: **AS SHOWN**
N

DEVELOPMENT APPLICATION



GROUND FLOOR PLAN

21 Edgar St Yagoona - 7:04 pm
SCALE 1:100

DOOR SCHEDULE				
ID	Door Type	Width	Height	Quantity
D01	GARAGE DOOR	5,050	2,835	2
D02	HINGED DOOR	820	2,700	2
D03	HINGED DOOR	820	2,100	29
D04	HINGED DOOR	1,000	2,700	1
D05	POCKET DOOR	820	2,700	2
D06	HINGED DOOR	2,400	2,700	1
D07	HINGED DOOR	3,650	2,700	1
D08	HINGED DOOR	2,000	2,500	1
D09	HINGED DOOR	4,000	2,700	1
D10	SLIDING DOOR	3,400	2,500	2
D12	SLIDING DOOR	3,050	2,700	2

WINDOW SCHEDULE					
ID	WINDOW TYPE	WIDTH	HEIGHT	SILL HEIGHT	QUANTI..
W01	FIXED WINDOW	3,000	800	1,800	4
W02	SLIDING WINDOW	2,000	1,500	1,200	2
W03	AWNING WINDOW	1,090	1,800	900	2
W04	AWNING WINDOW	1,100	1,800	900	4
W05	AWNING WINDOW	900	1,800	900	2
W06	SLIDING WINDOW	2,800	670	930	2
W07	SLIDING WINDOW	2,200	670	930	2
W08	SLIDING WINDOW	1,500	900	1,800	4
W09	AWNING WINDOW	1,200	1,800	900	2
W10	AWNING WINDOW	850	2,100	600	4
W11	AWNING WINDOW	900	900	1,800	2
W12	AWNING WINDOW	1,000	1,700	1,000	2
W13	AWNING WINDOW	900	2,700	0	2
W14	AWNING WINDOW	1,100	900	1,800	2
W15	FIXED WINDOW	2,000	2,600	0	2
W16	FIXED WINDOW	2,610	2,600	0	2
W17	FIXED WINDOW	3,650	740	300	2
W18	FIXED WINDOW	4,000	740	300	2
W19	FIXED WINDOW	1,800	1,600	1,000	2
W20	SLIDING WINDOW	1,800	1,200	1,500	4
W21	SLIDING WINDOW	1,800	1,600	1,100	2
					52

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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX — EXISTING NATURAL GROUND LEVELS
- 30 — SET DOWN IN BATHROOMS
- XXXX — SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:
1. Written dimensions to take precedence over scale
2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
3. Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
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6. Articulation joints in masonary to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.8
7. Retaining walls are required to be engineer designed and certifeid where required.
8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
11. Batters to comply with approprailte soil classification described in Table 3.1.1.1 BCA Vol 2
12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
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18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
19. Drainage to be in accordance with part 3 of the BCA. point of discharge to meet local authority requirement

PLATFORM 5 DESIGN
16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
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WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT
VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **GROUND FLOOR PLAN**
PROJECT NUMBER: **22-025**
DRAWING NUMBER: **DA2002**
DATE OF ISSUE: **30/07/2022**
C
SCALE: **AS SHOWN**
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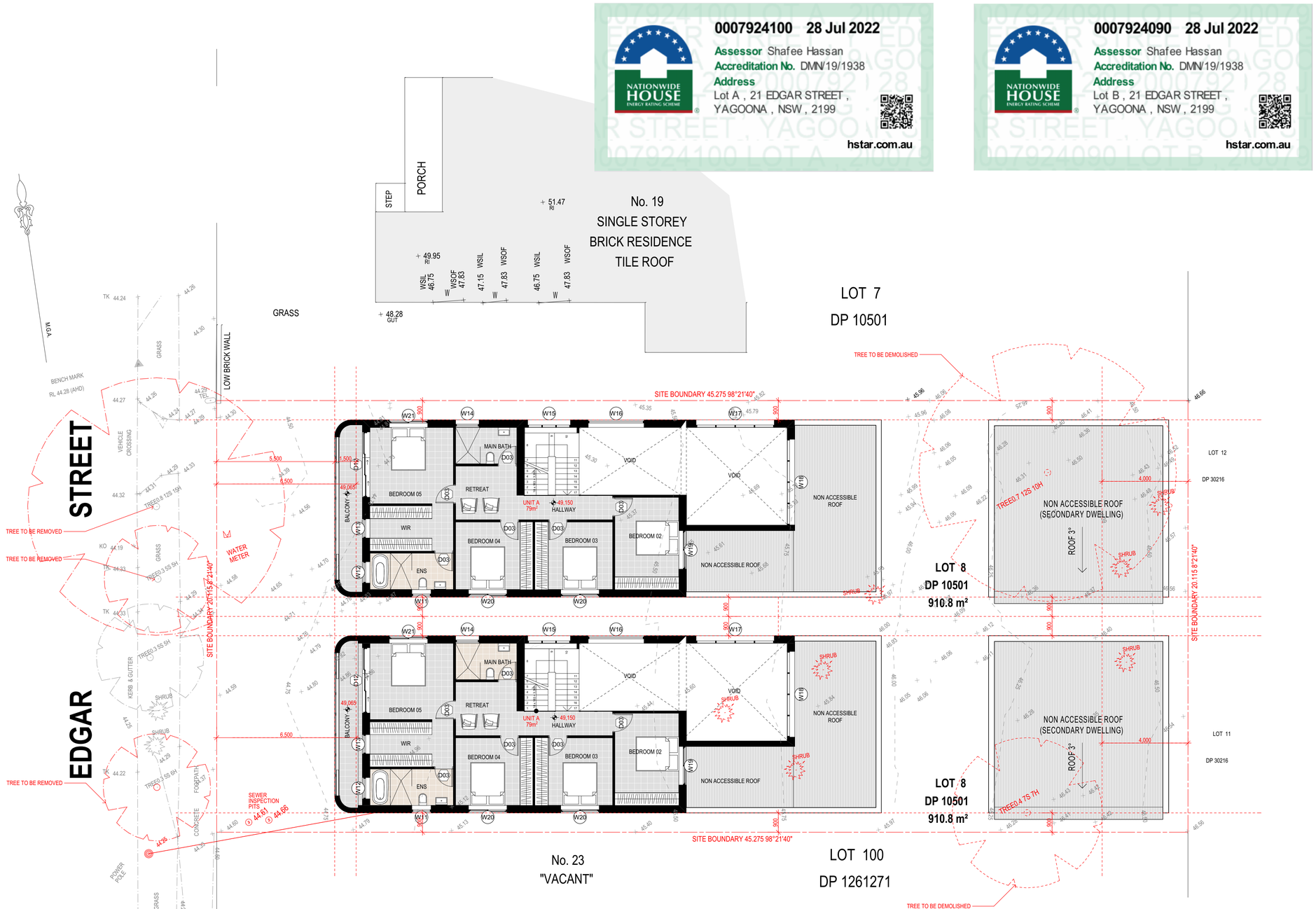
DEVELOPMENT APPLICATION



LEVEL 01

21 Edgar St, Yagoona - FIM.pln

SCALE 1:100

DOOR SCHEDULE

ID	Door Type	Width	Height	Quantity
D01	GARAGE DOOR	5,050	2,835	2
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D06	HINGED DOOR	2,400	2,700	1
D07	HINGED DOOR	3,650	2,700	1
D08	HINGED DOOR	2,000	2,500	1
D09	HINGED DOOR	4,000	2,700	1
D10	SLIDING DOOR	3,400	2,500	2
D12	SLIDING DOOR	3,050	2,700	2

WINDOW SCHEDULE

ID	WINDOW TYPE	WIDTH	HEIGHT	SILL HEIGHT	QUANTI..
W01	FIXED WINDOW	3,000	800	1,800	4
W02	SLIDING WINDOW	2,000	1,500	1,200	2
W03	AWNING WINDOW	1,090	1,800	900	2
W04	AWNING WINDOW	1,100	1,800	900	4
W05	AWNING WINDOW	900	1,800	900	2
W06	SLIDING WINDOW	2,800	670	930	2
W07	SLIDING WINDOW	2,200	670	930	2
W08	SLIDING WINDOW	1,500	900	1,800	4
W09	AWNING WINDOW	1,200	1,800	900	2
W10	AWNING WINDOW	850	2,100	600	4
W11	AWNING WINDOW	900	900	1,800	2
W12	AWNING WINDOW	1,000	1,700	1,000	2
W13	AWNING WINDOW	900	2,700	0	2
W14	AWNING WINDOW	1,100	900	1,800	2
W15	FIXED WINDOW	2,000	2,600	0	2
W16	FIXED WINDOW	2,610	2,600	0	2
W17	FIXED WINDOW	3,650	740	300	2
W18	FIXED WINDOW	4,000	740	300	2
W19	FIXED WINDOW	1,800	1,600	1,000	2
W20	SLIDING WINDOW	1,800	1,200	1,500	4
W21	SLIDING WINDOW	1,800	1,600	1,100	2
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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX — EXISTING NATURAL GROUND LEVELS
- 30 — SET DOWN IN BATHROOMS
- XXXX — SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:

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PLATFORM 5 DESIGN

16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
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WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE

21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT

VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **LEVEL 01**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA2003**

DATE OF ISSUE **30/07/2022** | **C**

SCALE: **AS SHOWN**

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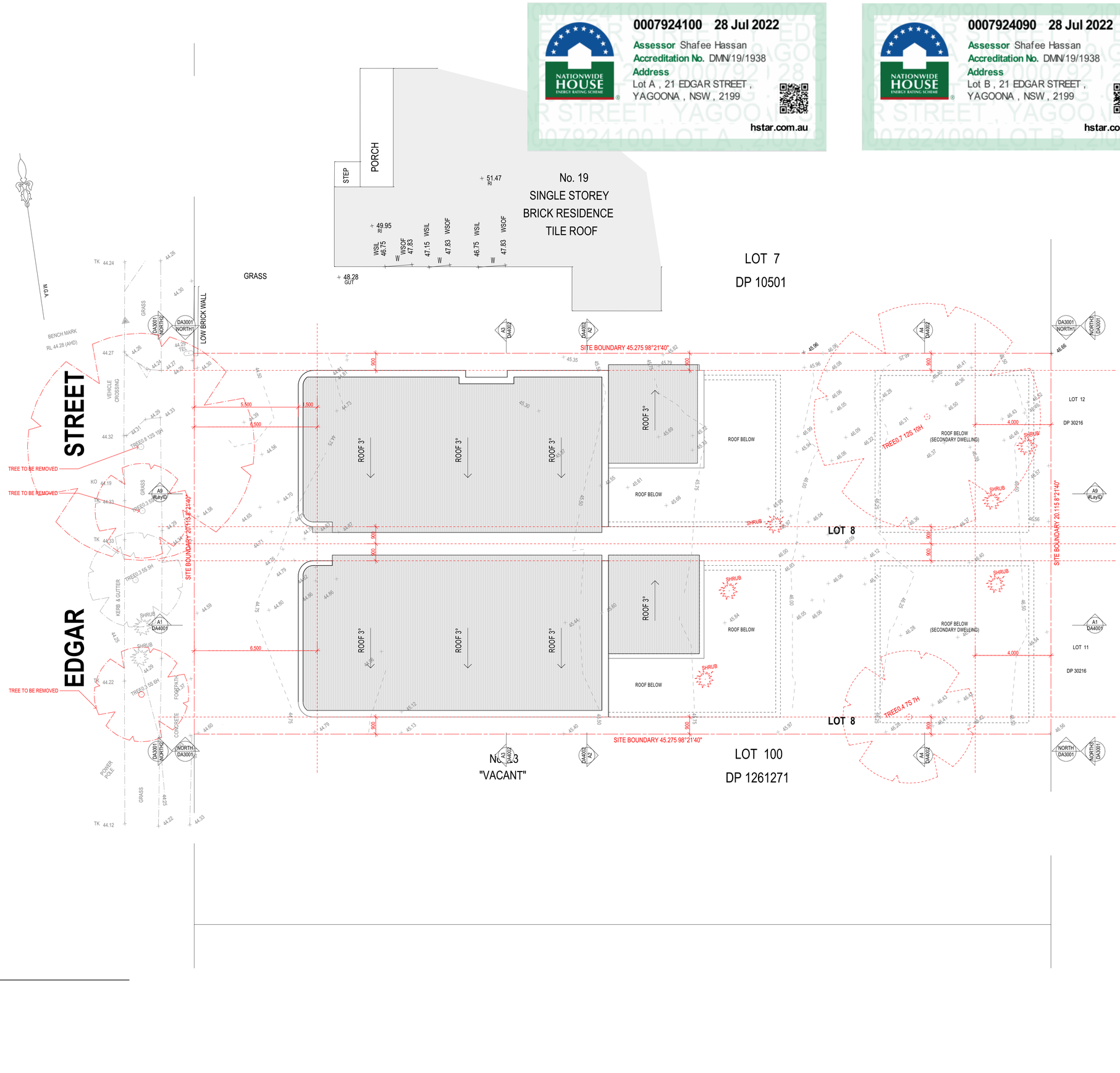
DEVELOPMENT APPLICATION



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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX — EXISTING NATURAL GROUND LEVELS
- 30 — SET DOWN IN BATHROOMS
- XXXX — SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

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18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
19. Drainage to be in accordance with part 3 of the BCA. point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
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WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE

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REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **ROOF**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA2004**

DATE OF ISSUE **30/07/2022** | **C**

SCALE: **AS SHOWN**

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DEVELOPMENT APPLICATION

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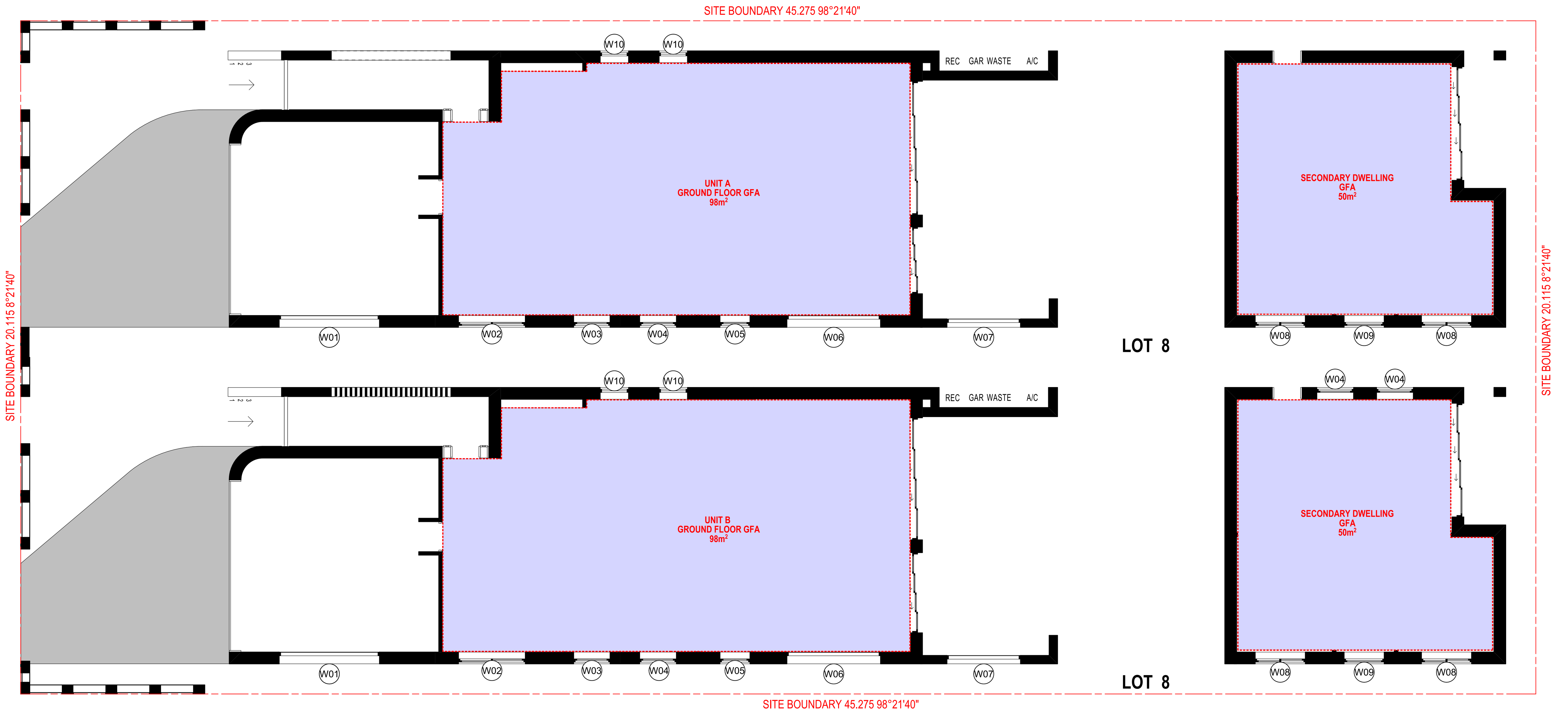

GROUND - GFA
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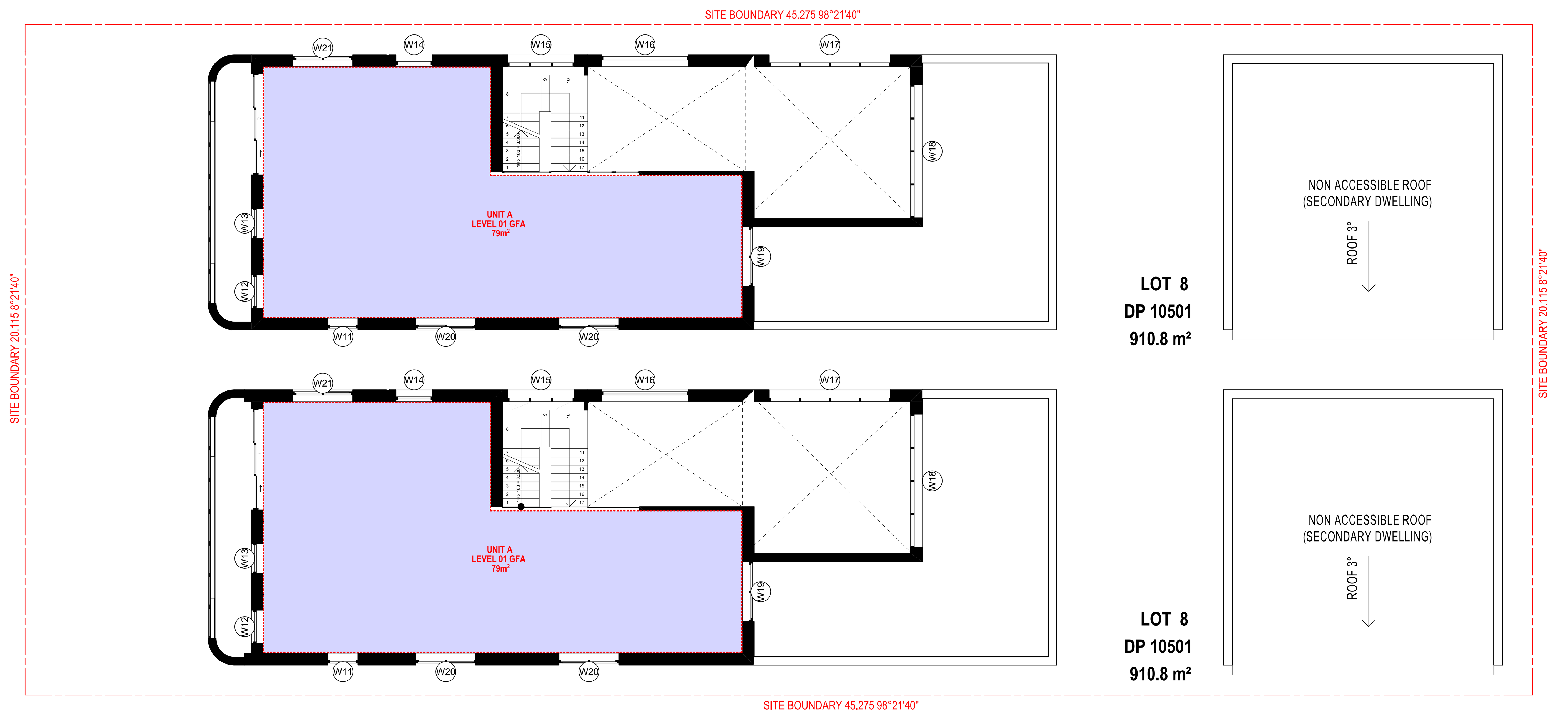

LEVEL 01 - GFA
SCALE 1:100

LEGEND

	200MM DINCEL WALL
	250MM BRICK VENEER CONSTRUCTION
	270MM DOUBLE BRICK CONSTRUCTION
	110MM SINGLE BRICK CONSTRUCTION
	110MM STUD WALL
	200MM BLOCK WALL CONSTRUCTION
EX XXXX	EXISTING NATURAL GROUND LEVELS
30	SET DOWN IN BATHROOMS
XXXX	SSL - STRUCTURAL SLAB LEVEL
	EXISTING STRUCTURES TO BE DEMOLISHED.

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PLATFORM 5 DESIGN
16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
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WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT
VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: GFA DIAGRAMS
PROJECT NUMBER: 22-025
DRAWING NUMBER: DA2901
DATE OF ISSUE: 30/07/2022
C
SCALE: AS SHOWN
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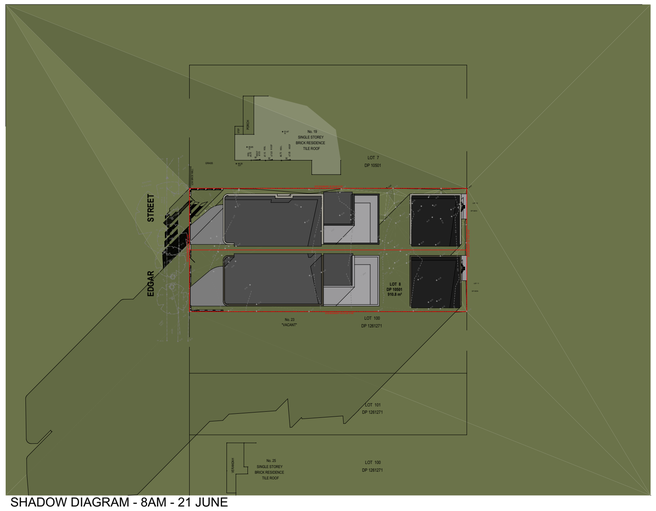
DEVELOPMENT APPLICATION



SHADOW DIAGRAM - 8AM - 21 JUNE

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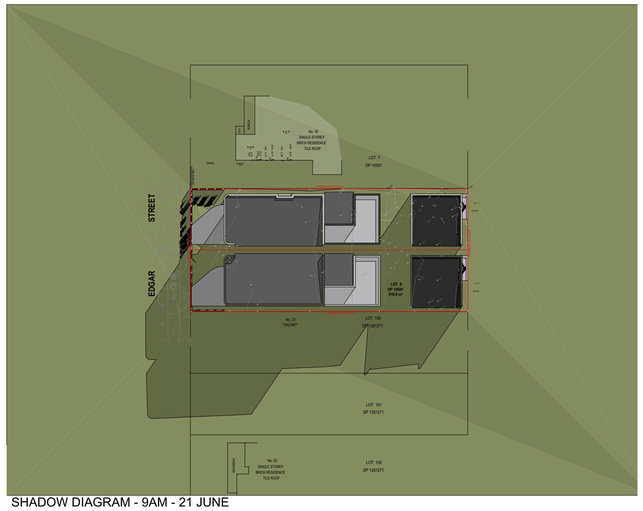

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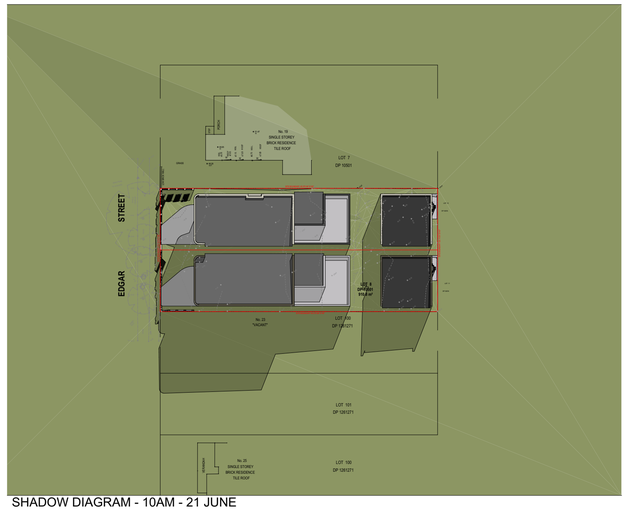

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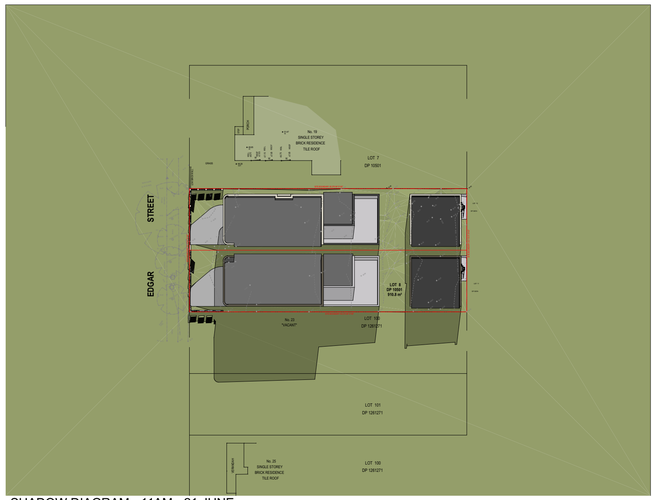

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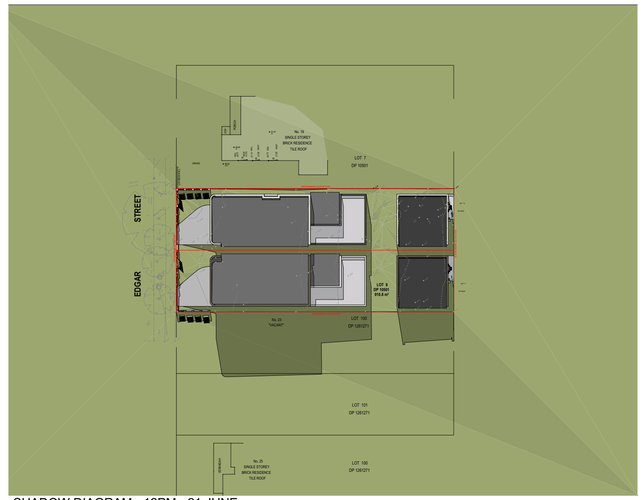

SHADOW DIAGRAM - 12PM - 21 JUNE

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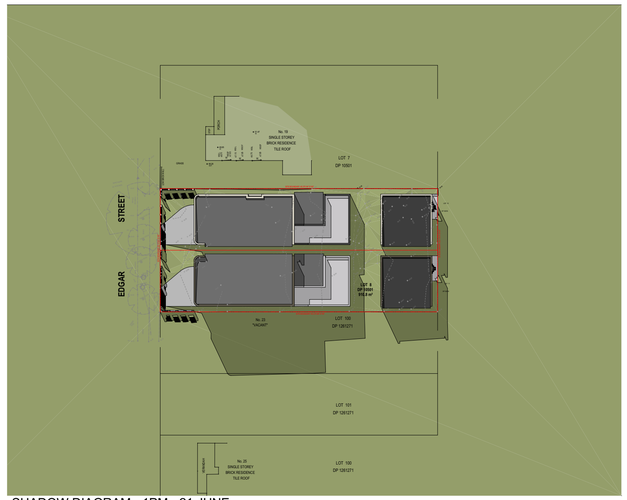

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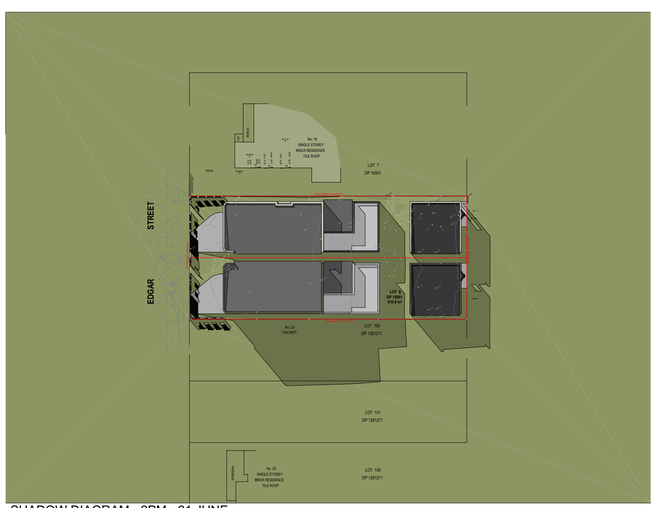

SHADOW DIAGRAM - 2PM - 21 JUNE

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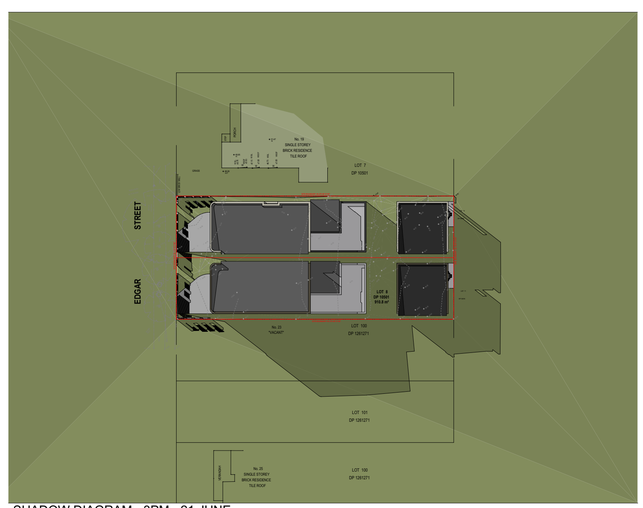
SCALE 1:500



SHADOW DIAGRAM - 3PM - 21 JUNE

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SCALE 1:500

SHADOW DIAGRAM - 4PM - 21 JUNE

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SCALE 1:500

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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX — EXISTING NATURAL GROUND LEVELS
- 30 — SET DOWN IN BATHROOMS
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18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
19. Drainage to be in accordance with part 3 of the BCA. point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
EMAIL: INFO@PLATFORMFIVE.COM.AU
WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE

21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT

VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **SOLAR ACCESS DIAGRAMS**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA2902**

DATE OF ISSUE **30/07/2022**

C

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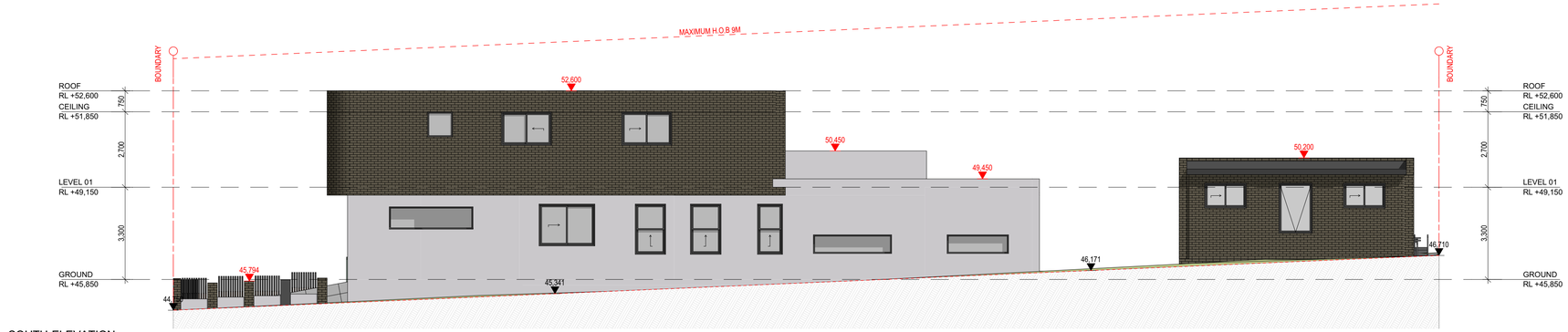
SCALE: **AS SHOWN**

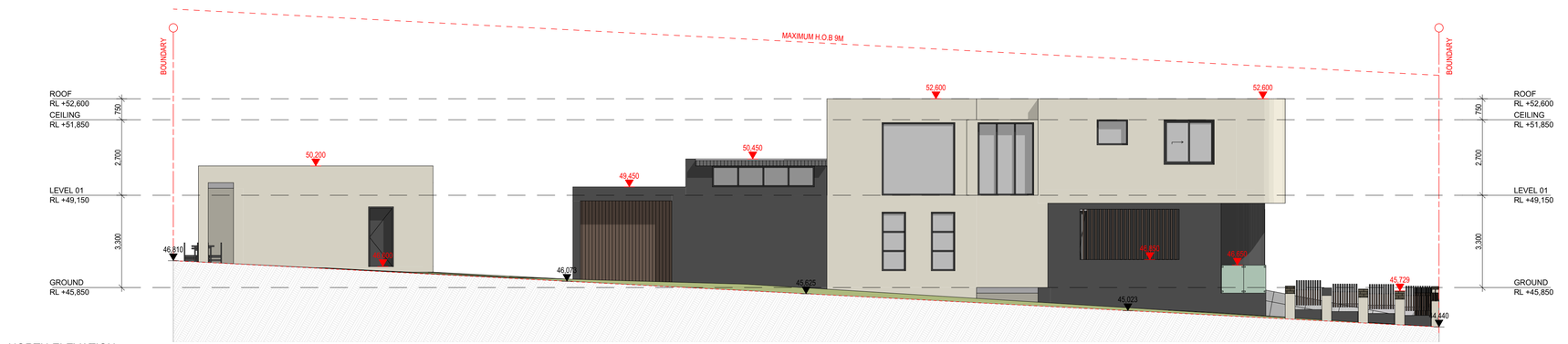
DEVELOPMENT APPLICATION



SOUTH ELEVATION

21 Edgar St, Yagoona - FRR.pln

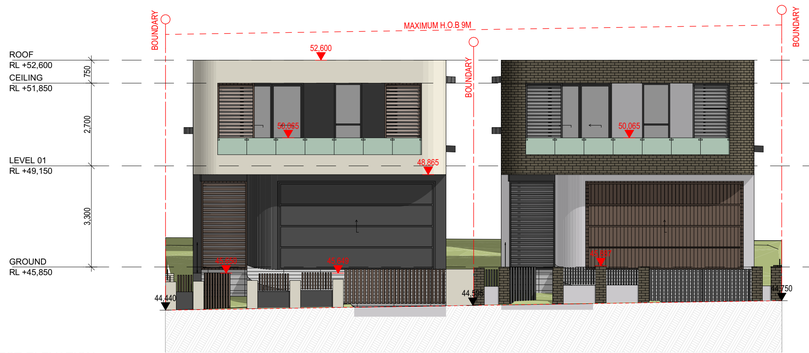
SCALE 1:100



NORTH ELEVATION

21 Edgar St, Yagoona - FRR.pln

SCALE 1:100



WEST ELEVATION

21 Edgar St, Yagoona - FRR.pln

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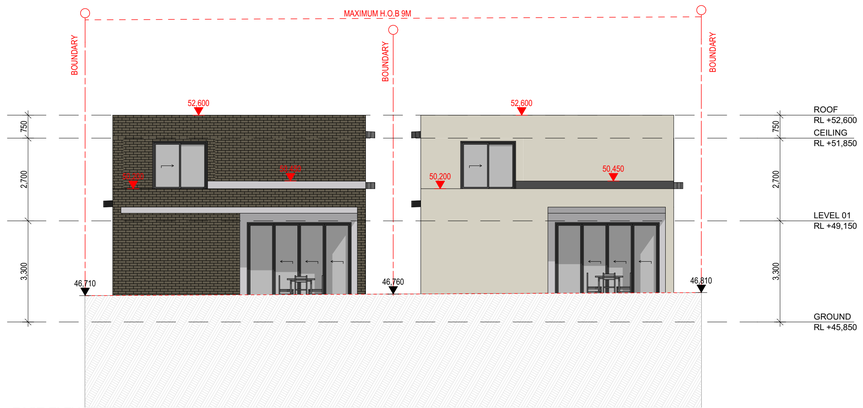

EAST ELEVATION

21 Edgar St, Yagoona - FRR.pln

SCALE 1:100

NATIONWIDE HOUSE ENERGY RATING SCHEME

0007924100 28 Jul 2022

Assessor Shafee Hassan

Accreditation No. DMN/19/1938

Address

Lot A , 21 EDGAR STREET , YAGOONA , NSW , 2199

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NATIONWIDE HOUSE ENERGY RATING SCHEME

0007924090 28 Jul 2022

Assessor Shafee Hassan

Accreditation No. DMN/19/1938

Address

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- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX — EXISTING NATURAL GROUND LEVELS
- 30 — SET DOWN IN BATHROOMS
- XXXX — SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:

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PLATFORM 5 DESIGN

16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-

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PROJECT TITLE

21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT

VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **ELEVATIONS**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA3001**

DATE OF ISSUE **30/07/2022**

C

N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

STREETSCAPE ELEVATION

21 Edgar St, Yagoona - FSR.pln

SCALE 1:100

Thermal Specification

Issued in accordance with
BASIX Thermal Comfort Simulation Method.

Assessor No #	DMN/19/1938	Projects:	YAGOONA

Thermal performance specifications

Following specification must apply to all instances of that element for the whole project. If different construction elements are applied then the Assessor Certificate is no longer valid.

Certificate No:		21 EDGAR STREET(LOT-A)	
		Unit-A1(Primary)	Unit-A2(Granny)
External walls Construction		Added Insulation	
Brick Veneer		R2.5	R2.5
Brick Veneer(Garage)		R2.5	-
Internal walls Construction			
Plasterboard on studs (Garage)		R2.5	-
Plasterboard on studs		Nil	Nil
Roof Construction			
Metal Roof		Foil+Bulk(R1.3 Anticon)	Foil+Bulk(R1.3 Anticon)
Colour		Medium	Medium
Ceilings Construction			
Plaster board		R3.0	R3.0
Floors Construction	**Covering**		
Concrete (Slab on ground)	Default	Nil	Nil
Timber(Floor between)	Default	Nil	Nil
Timber(Above garage)	Default	R3.0	Nil

Windows

All window and glazed door to be selected as per AFRC. Deviation is accepted ±5%. : This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated.

Area(M^2)	Frame	Ext. cover	U Val	SHGC	Glazing
	Alum/Sliding	As drawn	4.6	0.47	Single LowE Ntrl
	Alum/Awning	As drawn	4.8	0.42	Single LowE Ntrl
Unit-1A	Alum/Fixed	As drawn	4.4	0.48	Single LowE Ntrl
	Alum/Sliding dr	As drawn	4.4	0.46	Single LowE Ntrl
W15 & W16	Alum/Fixed	As drawn	3.1	0.27	Dbl Low E Ntrl
	Alum/Sliding(GP-B)	As drawn	6.7	0.70	Single Clear
Unit-1B	Alum/Awning(Gp-A)	As drawn	6.7	0.57	Single Clear

Skylights

Area (M^2)	Type	Glazing
Nil	Nil	Nil

Fixed shading (eaves, pergolas, verandas , awnings)	
All shade elements modelled as drawn	
Weather seals to windows and doors	Be provided
All down lights be sealed	Yes

BASIX Commitments

Basix Certificate No:

FOR UNIT-A1 (Primary) & A2Granny)

HOT WATER
•Gas Instantaneous -5.5 star

VENTILATION
•Bathrooms: Individual fan ducted to façade or roof with interlock to light switch
•Kitchen: individual fan, not ducted with manual ON /OFF
•Laundry:Individual fan ducted to façade or roof with manual ON /OFF

AIR CON:
•Cooling & Heating : 1- Phase Air con-EER 2.5-3.0 (Zoned)

LIGHTING
•Energy efficient light fittings (LED or fluorescent for each individual spaces)

KITCHEN
•Gas cooktop & electric oven

CLOTHES DRYING LINE
• No, In door Clothes drying line
• Yes, outdoor clothing drying line

VENTILATED SPACE
No, Ventilated refrigerated space

WATER SAVING
•4 star shower heads
•4 star toilets or better
•5 star kitchen tap
•5 Star bathroom tap

RAIN WATER&STORM WATER TANK:
•1500 L rain water tank used for landscape & Laundry(Unit-A2)
•1500 L rain water tank used for landscape.(Unit-A1)

NATIONWIDE HOUSE ENERGY RATING SCHEME

0007924100 28 Jul 2022

Assessor Shafee Hassan
Accreditation No. DMN/19/1938
Address
Lot A , 21 EDGAR STREET ,
YAGOONA , NSW , 2199

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Thermal Specification

Issued in accordance with
BASIX Thermal Comfort Simulation Method.

Assessor No #	DMN/19/1938	Projects:	YAGOONA

Thermal performance specifications

Following specification must apply to all instances of that element for the whole project. If different construction elements are applied then the Assessor Certificate is no longer valid.

Certificate No:		21 EDGAR STREET(LOT-B)	
		Unit-B1(Primary)	Unit-B2(Granny)
External walls Construction		Added Insulation	
Brick Veneer		R2.5	R2.5
Brick Veneer(Garage)		R2.5	-
Internal walls Construction			
Plasterboard on studs (Garage)		R2.5	-
Plasterboard on studs		Nil	Nil
Roof Construction			
Metal Roof		Foil+Bulk(R1.3 Anticon)	Foil+Bulk(R1.3 Anticon)
Colour		Medium	Medium
Ceilings Construction			
Plaster board		R3.0	R3.0
Floors Construction	**Covering**		
Concrete (Slab on ground)	Default	Nil	Nil
Timber(Floor between)	Default	Nil	Nil
Timber(Above garage)	Default	R3.0	Nil

Windows

All window and glazed door to be selected as per AFRC. Deviation is accepted ±5%. : This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated.

Area(M^2)	Frame	Ext. cover	U Val	SHGC	Glazing
	Alum/Sliding	As drawn	4.6	0.47	Single LowE Ntrl
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Unit-1B	Alum/Awning(Gp-A)	As drawn	6.7	0.57	Single Clear

Skylights

Area (M^2)	Type	Glazing
Nil	Nil	Nil

Fixed shading (eaves, pergolas, verandas , awnings)	
All shade elements modelled as drawn	
Weather seals to windows and doors	Be provided
All down lights be sealed	Yes

BASIX Commitments

Basix Certificate No:

FOR UNIT-B1 (Primary) & B2Granny)

HOT WATER
•Gas Instantaneous -5.5 star

VENTILATION
•Bathrooms: Individual fan ducted to façade or roof with interlock to light switch
•Kitchen: individual fan, not ducted with manual ON /OFF
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AIR CON:
•Cooling & Heating : 1- Phase Air con-EER 2.5-3.0 (Zoned)

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•Energy efficient light fittings (LED or fluorescent for each individual spaces)

KITCHEN
•Gas cooktop & electric oven

CLOTHES DRYING LINE
• No, In door Clothes drying line
• Yes, outdoor clothing drying line

VENTILATED SPACE
No, Ventilated refrigerated space

WATER SAVING
•4 star shower heads
•4 star toilets or better
•5 star kitchen tap
•5 Star bathroom tap

RAIN WATER&STORM WATER TANK:
•1500 L rain water tank used for landscape & Laundry(Unit-B2)
•1500 L rain water tank used for landscape.(Unit-B1)

NATIONWIDE HOUSE ENERGY RATING SCHEME

0007924090 28 Jul 2022

Assessor Shafee Hassan
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YAGOONA , NSW , 2199

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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX — EXISTING NATURAL GROUND LEVELS
- 30 — SET DOWN IN BATHROOMS
- XXXX — SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:
1. Written dimensions to take precedence over scale
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19. Drainage to be in accordance with part 3 of the BCA. point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
EMAIL: INFO@PLATFORMFIVE.COM.AU
WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT
VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **STREETSCAPE ELEVATION**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA3002**

DATE OF ISSUE **30/07/2022**

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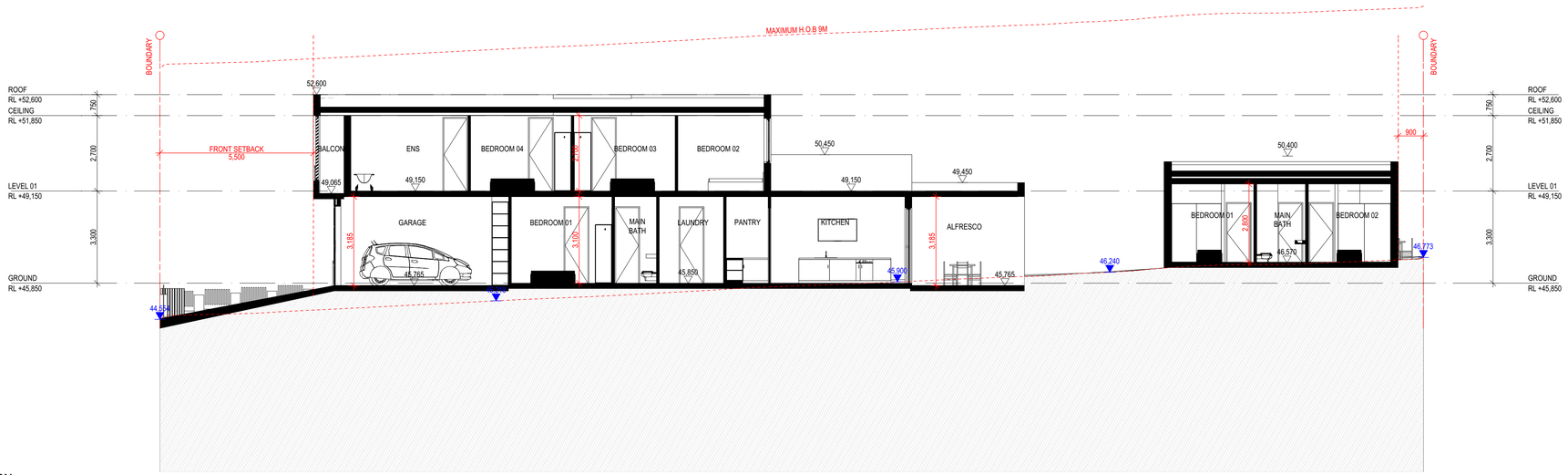
SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



A SECTION

21 Edgar St, Yagoona - PSR.pln

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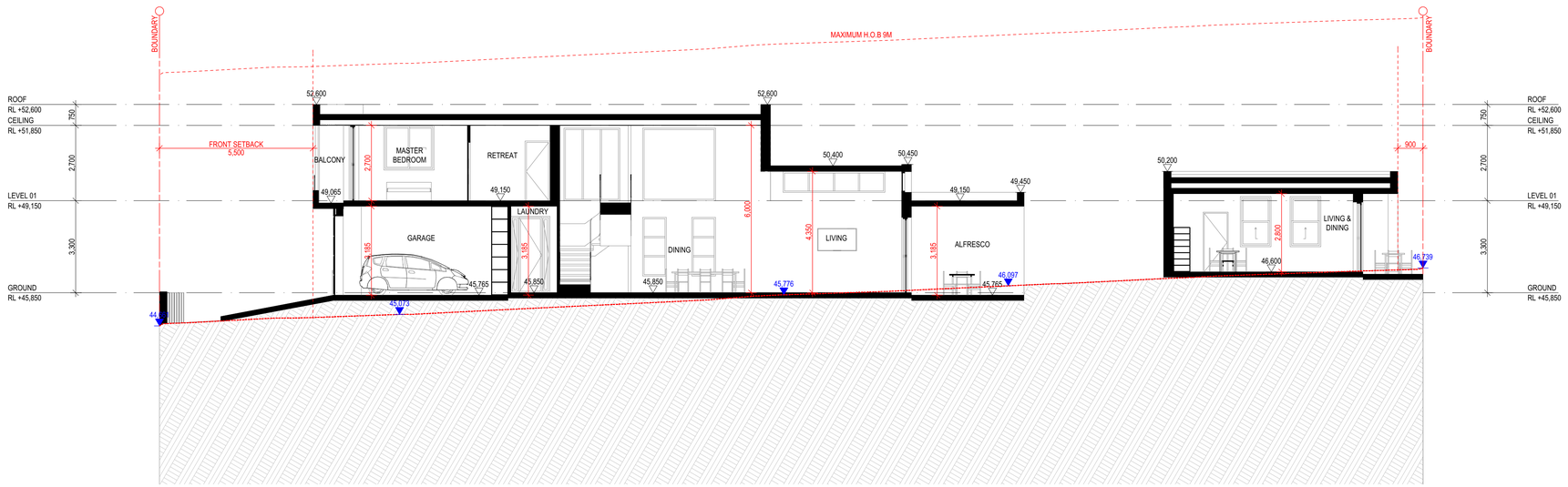

B SECTION

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PLATFORM 5 DESIGN

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PROJECT TITLE

21 EDGAR STREET, YAGOONA - NSW - 2199

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REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **SECTIONS**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA4001**

DATE OF ISSUE **30/07/2022**

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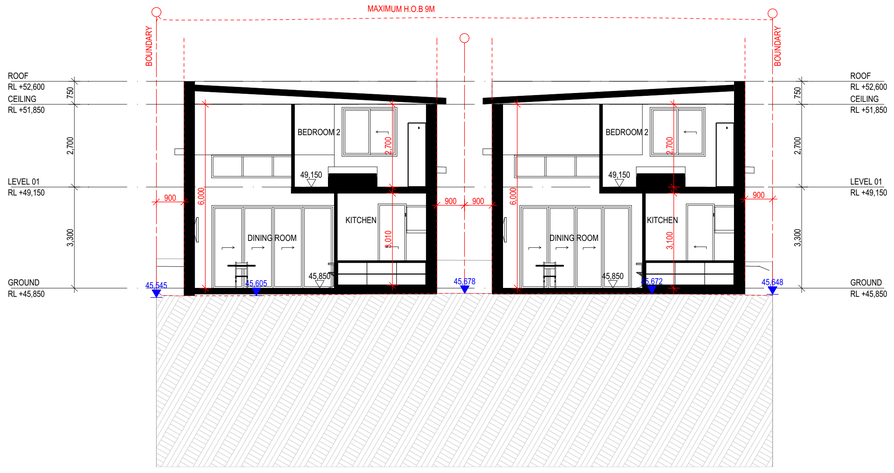
SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



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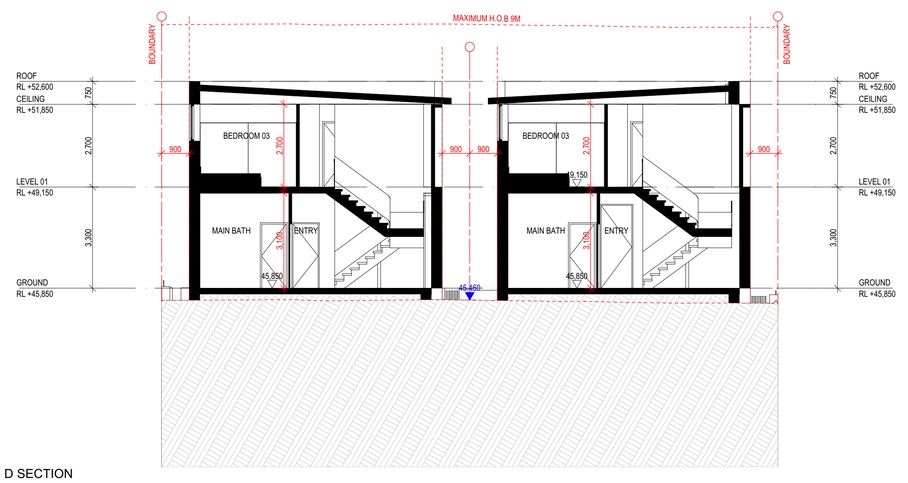

D SECTION

71 Edgar St, Yagoona - FFR.pln

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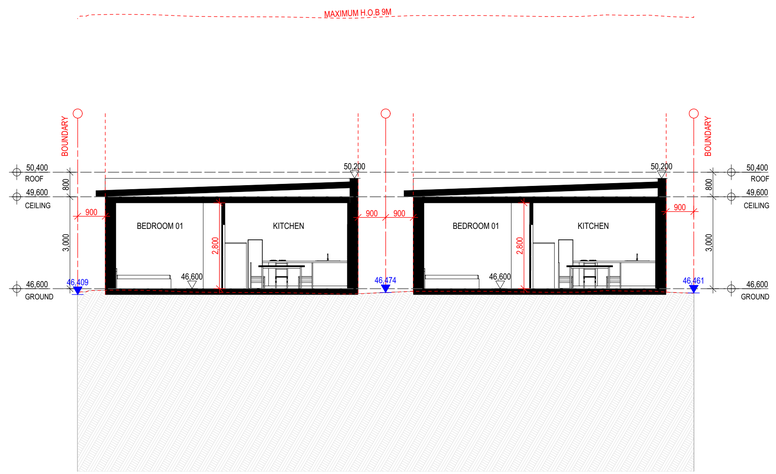

E SECTION

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PLATFORM 5 DESIGN

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PROJECT TITLE

21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT

VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **SECTIONS**

PROJECT NUMBER: **22-025**

DRAWING NUMBER: **DA4002**

DATE OF ISSUE **30/07/2022**

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SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

BORAL RVIERSIDE-
SANDY BAY OR SIMILAR **A**

RENDER & PAINT FINISH
DULUX- LEXICON WHITE **B**

AUSTRAL BRICK -
BOWRAL BLUE
OR SIMILAR **C**

ALUMINIUM FRAMED
WINDOWS & DOORS
MONUMENT GREY
OR
DULEX POWDERCOAT
DARK NIGHT OR
SIMLAR **D**

DECO CLAD NARROW
LINE RANGE-
NATURAL CHESTNUT
OR SIMILAR **E**

FINISHED STENCILLED
CONCRETE OR SIMILAR **F**

RENDER & PAINT FINISH
DULUX- DARK NIGHT **G**

COLOURS ARE INDICITATIVE ONLY AND MAY VARY DUE TO AVAILABILITY

0007924100 28 Jul 2022
Assessor Shafee Hassan
Accreditation No. DMN/19/1938
Address
Lot A , 21 EDGAR STREET ,
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0007924090 28 Jul 2022
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Do not scale drawings
Verify all dimensions on site

LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX — EXISTING NATURAL GROUND LEVELS
- 30 — SET DOWN IN BATHROOMS
- XXXX — SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:
1. Written dimensions to take precedence over scale
2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
3. Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
6. Articulation joints in masonary to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.8
7. Retaining walls are required to be engineer designed and certifeid where required.
8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
11. Batters to comply with approprailte soil classification described in Table 3.1.1.1 BCA Vol 2
12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
13. Vehicular crossover to be constructed as per Council requirements.
14. Articulated joints in accordance with BCA 3.3.1.8 (Vol2)
15. Ventilation to wc to be an exhaust fan in accordance with BCA-I4.5 & As-1668.2
16. Provide cold water connection & gpo to dishwasher space
17. Hotwater system to comply with A.S.3500
18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
19. Drainage to be in accordance with part 3 of the BCA. point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-
EMAIL: INFO@PLATFORMFIVE.COM.AU
WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT
VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **FINISHES SCHEDULE**
PROJECT NUMBER: **22-025**
DRAWING NUMBER: **DA6301**
DATE OF ISSUE **30/07/2022**
C
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SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

WINDOW SCHEDULE

ID	WINDOW TYPE	WIDTH	HEIGHT	SILL HEIGHT	QUANTI..
W01	FIXED WINDOW	3,000	800	1,800	4
W02	SLIDING WINDOW	2,000	1,500	1,200	2
W03	AWNING WINDOW	1,090	1,800	900	2
W04	AWNING WINDOW	1,100	1,800	900	4
W05	AWNING WINDOW	900	1,800	900	2
W06	SLIDING WINDOW	2,800	670	930	2
W07	SLIDING WINDOW	2,200	670	930	2
W08	SLIDING WINDOW	1,500	900	1,800	4
W09	AWNING WINDOW	1,200	1,800	900	2
W10	AWNING WINDOW	850	2,100	600	4
W11	AWNING WINDOW	900	900	1,800	2
W12	AWNING WINDOW	1,000	1,700	1,000	2
W13	AWNING WINDOW	900	2,700	0	2
W14	AWNING WINDOW	1,100	900	1,800	2
W15	FIXED WINDOW	2,000	2,600	0	2
W16	FIXED WINDOW	2,610	2,600	0	2
W17	FIXED WINDOW	3,650	740	300	2
W18	FIXED WINDOW	4,000	740	300	2
W19	FIXED WINDOW	1,800	1,600	1,000	2
W20	SLIDING WINDOW	1,800	1,200	1,500	4
W21	SLIDING WINDOW	1,800	1,600	1,100	2
					52

DOOR SCHEDULE

ID	Door Type	Width	Height	Quantity
D01	GARAGE DOOR	5,050	2,835	2
D02	HINGED DOOR	820	2,700	2
D03	HINGED DOOR	820	2,100	29
D04	HINGED DOOR	1,000	2,700	1
D05	POCKET DOOR	820	2,700	2
D06	HINGED DOOR	2,400	2,700	1
D07	HINGED DOOR	3,650	2,700	1
D08	HINGED DOOR	2,000	2,500	1
D09	HINGED DOOR	4,000	2,700	1
D10	SLIDING DOOR	3,400	2,500	2
D12	SLIDING DOOR	3,050	2,700	2

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A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE: **WINDOW & DOOR SCHEDULE**
PROJECT NUMBER: **22-025**
DRAWING NUMBER: **DA6302**
DATE OF ISSUE **30/07/2022**
C
N
SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION